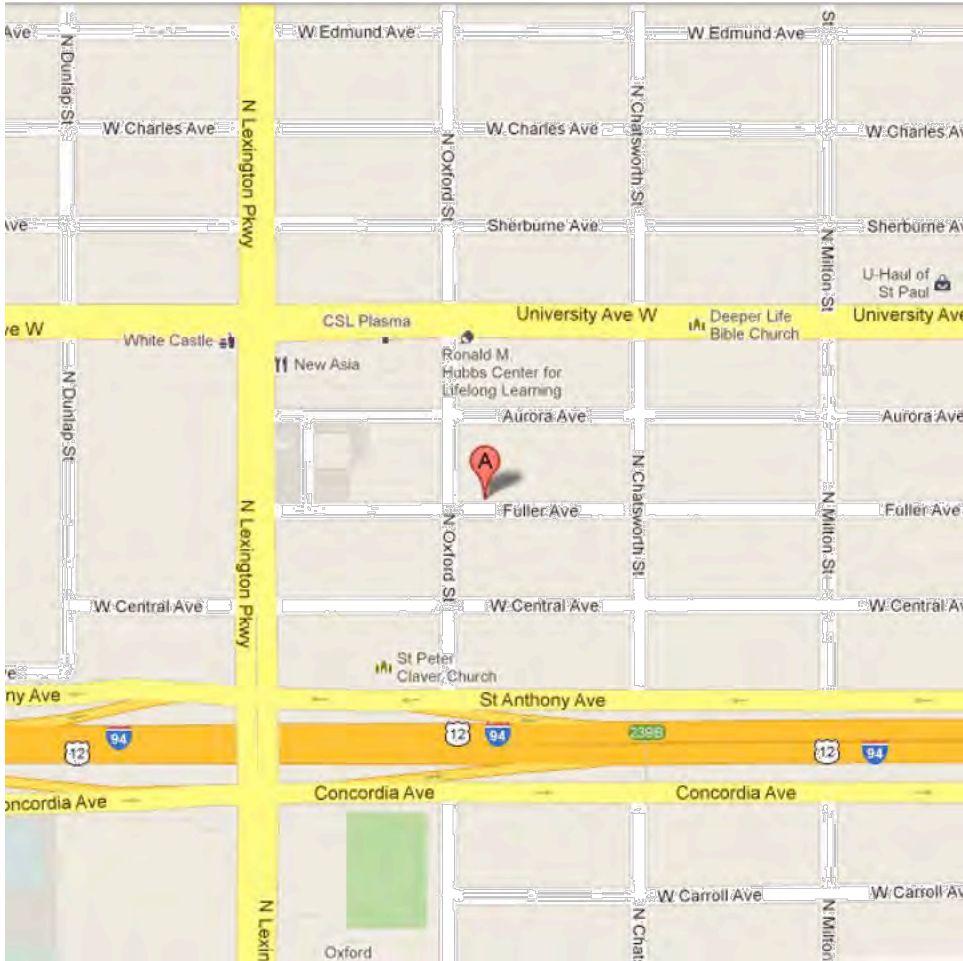


# City of Saint Paul • HRA

Residence Remodel  
1031 Fuller Avenue  
Saint Paul, MN




1 Location Map  
SCALE: NTS

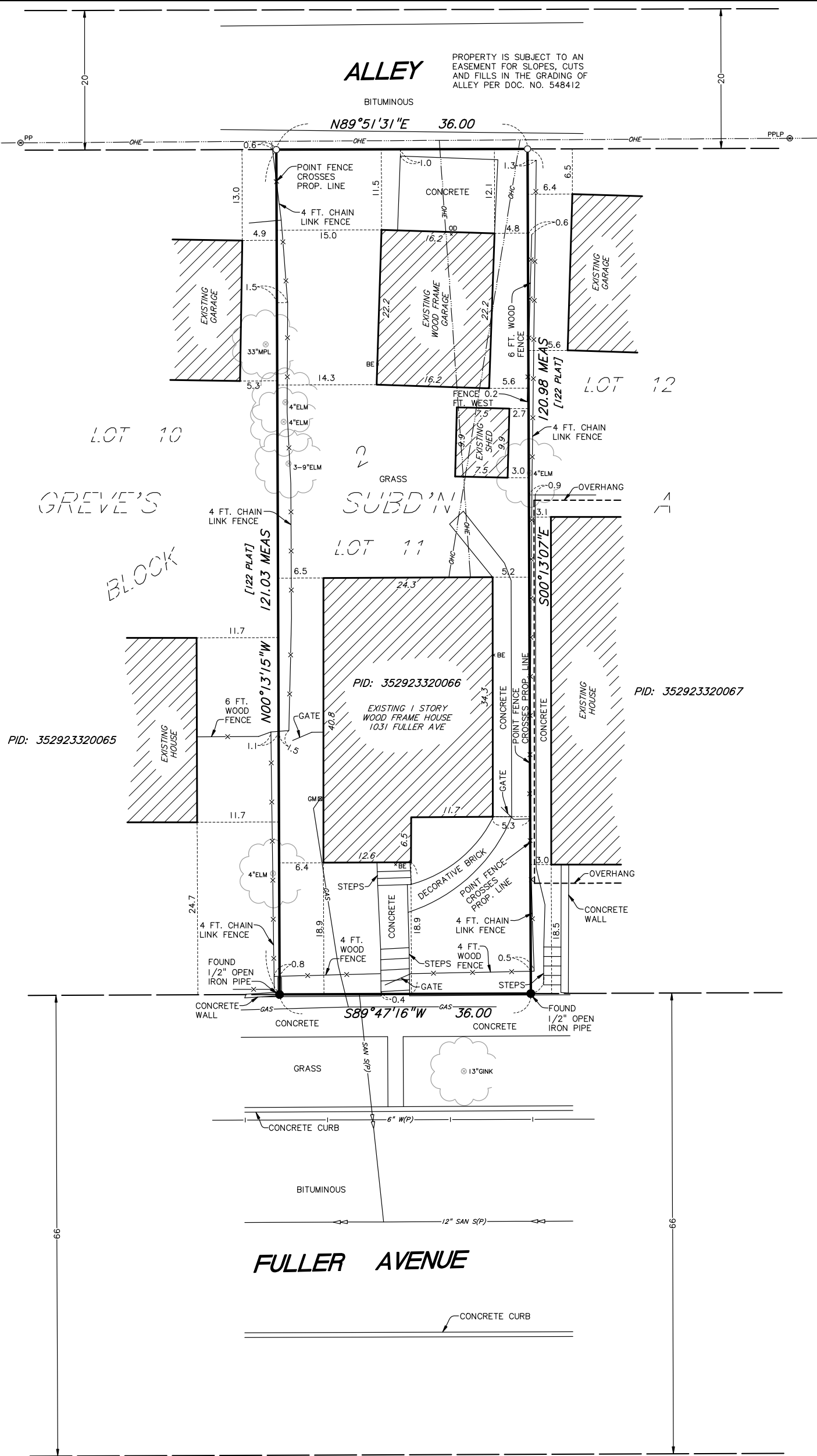


PROJECT TEAM	
PROJECT: Residence Remodel	
LOCATION: 1031 Fuller Avenue Saint Paul, MN	
OWNER: City of Saint Paul HRA Tchu Yajh, Project Manager 25 west 4th Street Saint Paul, MN 55102 651.266.6592 tchu.yajh@ci.stpaul.mn.us	
ARCHITECT: LUNNING WENDE ASSOCIATES, INC. 275 EAST FOURTH STREET, SUITE 620 SAINT PAUL, MN 55101 Scott Wende PHONE: 651.221.0915 FAX: 651.222.6259 Scott@LunningWende.com	

DRAWING INDEX	
GENERAL INFORMATION	
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G101	Title Sheet
SURVEY	
0	0
Survey	Survey
LANDSCAPE	
ARCHITECTURAL DEMO	
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A101	Basement/First Floor Plans
A102	RCP/Roof Plan
A301	Porch Details
A501	Interior Elevations
A601	Schedules

City of Saint Paul • HRA Residence Remodel 1031 Fuller Avenue Saint Paul, MN			
No.	Date	Appr	Revision Notes
Δ			
No.	Date	Issue Notes	
I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.			
SIGNATURE: <i>Scott Wende</i>			
NAME: SCOTT WENDE LICENSE NUMBER: 19071			
DATE: October 12, 2012			
Design Firm  Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259			
Consultant			
Construction Manager			
Project Title City of Saint Paul • HRA Residence Remodel 1031 Fuller Avenue Saint Paul, MN			
Drawing Title Title Sheet			
Project Manager Scott Wende		Project ID 2012-04	
Drawn By JDC-CN		Scale No scale	
Reviewed By		Drawing No.	
Date 20121012		G101	
File Name 1031 Fuller.vwx			





**DESCRIPTION OF PROPERTY SURVEYED**

(Per Certificate of Title No. 583575)

Lot 11, Block 2, Greve's Sub'd'n "A"

Property is located in Ramsey County, Minnesota.

**TITLE COMMITMENT**

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.

**GENERAL NOTE**

1.) Survey coordinate and bearing basis: Ramsey County Coordinate System NAD 83

**UTILITY NOTES**

- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 120130537.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

**ZONING NOTES**

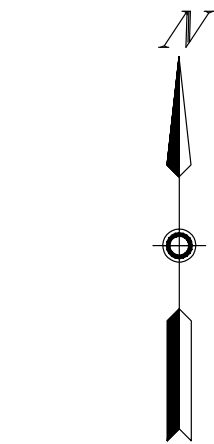
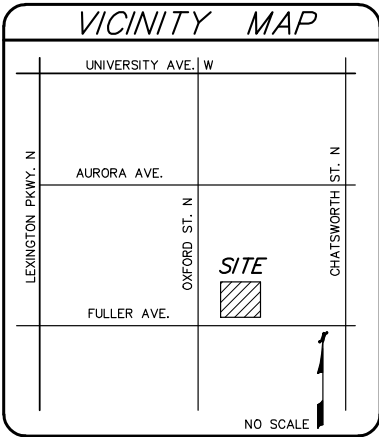
- 1.) Zoning information obtained from the City of St. Paul web site on January 18, 2012.  
The subject property is zoned R4--(One family residential district).
- 2.) The setbacks for zone R4--(One family residential district) are:  
Building: Front = 25 feet  
Side = 4 feet  
Rear = 25 feet  
Note: See Sec. 66.231 of the Zoning Code for additional standards which may apply.

**AREA**

Area = 4,357 square feet or 0.100 acres

**LEGEND**

- O Denotes iron monument set marked with P.L.S. No. 15480
- BE Denotes building entrance
- GM Denotes gas meter
- OD Denotes overhead door
- OHC Denotes overhead communication line
- OHE Denotes overhead electric line
- (P) Denotes structure per plan
- PP Denotes power pole
- PPLP Denotes power and light pole
- SAN S Denotes sanitary sewer
- W Denotes water line
- GINK Denotes Ginkgo tree
- MPL Denotes Maple tree



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 19th day of January, 2012.

SUNDE LAND SURVEYING, L.L.C.

By: *Mark S. Hanson*  
Mark S. Hanson, P.L.S. Minn. Lic. No. 15480

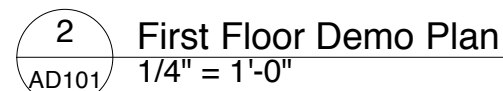
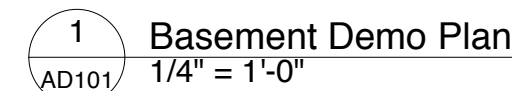
Revision	By	Date
	SFH	
Drawing Title:		
<b>SURVEY FOR:</b> <b>CITY OF SAINT PAUL</b> <b>1031 FULLER AVENUE</b>		
<b>SUNDE LAND SURVEYING</b>		
9001 East Bloomington Freeway (35W) • Suite 118 Bloomington, Minnesota 55402-1435 952-881-2455 (Fax: 952-888-9526) www.sunde.com		
Project: 2012-010	Bk/Pg: 611/75	Date: 1/19/2012
Township: 029	Range: 23	Section: 35
File: 2012010001.dwg		Sheet: <b>1 of 1</b>

1. FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
2. DEMO WORK SHOWN DASHED
3. SEE SPECIFICATIONS FOR CONSTRUCTION WASTE REMOVAL & LANDFILL DIVERSION INSTRUCTIONS
4. REMOVE LANDSCAPING PER HRA & ST. PAUL FORESTRY RECOMMENDATIONS.
5. TEST FOR RADON LEVELS IN EXISTING BASEMENT (SEE SPEC)
6. CLEAN AND REFINISH ALL EXISTING STORED MATERIAL FOR REUSE (SEE SPEC)
7. REMOVE EXISTING ASBESTOS SIDING WHENEVER/WHEREVER PRESENT.
8. MODIFY, RELOCATE OR CAP EXIST MECH & ELEC AS REQ'D
9. VERIFY STRUCT. INTEGRITY OF ALL EXST. FRAMING, COLUMNS & BEAMS.
10. COORDINATE ALL STRUCTURAL MODIFICATIONS W/ QUALIFIED ENGINEERS
11. VERIFY COND. & CODE COMPLIANCE OF ALL MECH. & ELEC. FIXTURES & OUTLETS. (SEE HRA CODE REPORT)
12. SEE NEW PLANS TO COORDINATE LOCATION & DIMENSIONS OF NEW OPENINGS.
13. UPON REMOVAL OF EXIST. FLOOR FINISHES, FIELD VERIFY CONDITION OF EXIST. SUBSTRATE, AND IF HARDWOOD FLOOR EXSTS.
14. REMOVE & RETAIN ALL EXST. INTERIOR TRIM BEFORE DEMO-ING INTERIOR WALLS. REUSE AS NEEDED.

1. Replace all windows. Verify condition for trim repair. See plans for noted exceptions.
2. Demo existing siding. Verify sheathing condition for repair.
3. Demo exist. roof shingles and underlayment. Repair sheathing as needed.
4. Clean and tuckpoint existing foundation as req'd.
5. Replace all doors.

- 1 Demo exist. chimney, flue and walls as shown. Verify structural integrity prior to demo.
- 2 Demo plumbing fixtures shown dashed
- 3 Existing window to remain.
- 4 Remove exist. window unit. Prep exist. opening for glass block.
- 5 Remove exist. conc. steps.
- 6 Verify continuous joists above prior to wall demo.
- 7 Demo exist. wall and openings as shown. Save millwork for reuse.
- 8 Demo existing shelving.




- (9) Demo exist. door & trim.
- (10) Remove exist. int. door & hardware. Frame, opening & trim remain.
- (11) Remove flooring to wood floor. Verify condition of wood floor if present. Hatch indicates extent of flooring demo.
- (12) Remove exist. hosebib.
- (13) Demo exist. wood stud walls in this area.
- (14) Demo wall. Frame & prepare for new door opening.
- (15) Demo faux brick finish on walls.



### **Vestibule Demo 104**

- Demo threshold
- Demo existing unused electrical box
- Demo top three stair treads
- Demo flooring
- Demo north wall plaster
- Demo east wall plaster
- Demo door trim
- Verify ceiling plaster

City of Saint Paul • HRA  
Residence Remodel  
1031 Fuller Avenue  
Saint Paul, MN

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<p>Design Firm</p> <div><p>Lunning Wendt Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259</p></div>			
<p>Consultant</p>			
<p>Construction Manager</p> <p>-</p> <p>-</p>			
<p>Project Title</p> <p>City of Saint Paul • HRA Residence Remodel 1031 Fuller Avenue Saint Paul, MN</p>			
<p>Drawing Title</p> <p>Basement/First Floor Demo Plans</p>			
<p>Project Manager</p> <p>Scott Wendt</p>		<p>Project ID</p> <p>2012-04</p>	
<p>Drawn By</p> <p>JDC-CN</p>		<p>Scale</p> <p>1/4" = 1'-0"</p>	
<p>Reviewed By</p>		<p>Drawing No.</p>	
<p>Date</p> <p>20121012</p>		<p>AD101</p>	
<p>File Name</p> <p>1031 Fuller.vwx</p>			

GENERAL NOTES - EXISTING/DEMO :

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4. REMOVE LANDSCAPING PER HRA & ST. PAUL FORESTRY RECOMMENDATIONS.
5. TEST FOR RADON LEVELS IN EXISTING BASEMENT (SEE SPEC)
6. CLEAN, SAND & REFINISH ALL EXISTING STORED MAT'Ls FOR REUSE (SEE SPEC)
7. REMOVE EXISTING ASBESTOS SIDING WHENEVER/WHEREVER PRESENT.
8. MODIFY, RELOCATE OR CAP EXIST MECH & ELEC AS REQ'D
9. VERIFY STRUCT. INTEGRITY OF ALL EXST. FRAMING, COLUMNS & BEAMS.
10. COORDINATE ALL STRUCTURAL MODIFICATIONS W/ QUALIFIED ENGINEERS
11. VERIFY COND. & CODE COMPLIANCE OF ALL MECH. & ELEC. FIXTURES & OUTLETS. (SEE HRA CODE REPORT)
12. SEE NEW PLANS TO COORDINATE LOCATION & DIMENSIONS OF NEW OPENINGS.
13. UPON REMOVAL OF EXIST. FLOOR FINISHES, FIELD VERIFY CONDITION OF EXIST. SUBSTRATE, AND IF HARDWOOD FLOOR EXSTS.
14. REMOVE & RETAIN ALL EXST. INTERIOR TRIM BEFORE DEMO-ING INTERIOR WALLS. REUSE AS NEEDED.

Demolition Notes:

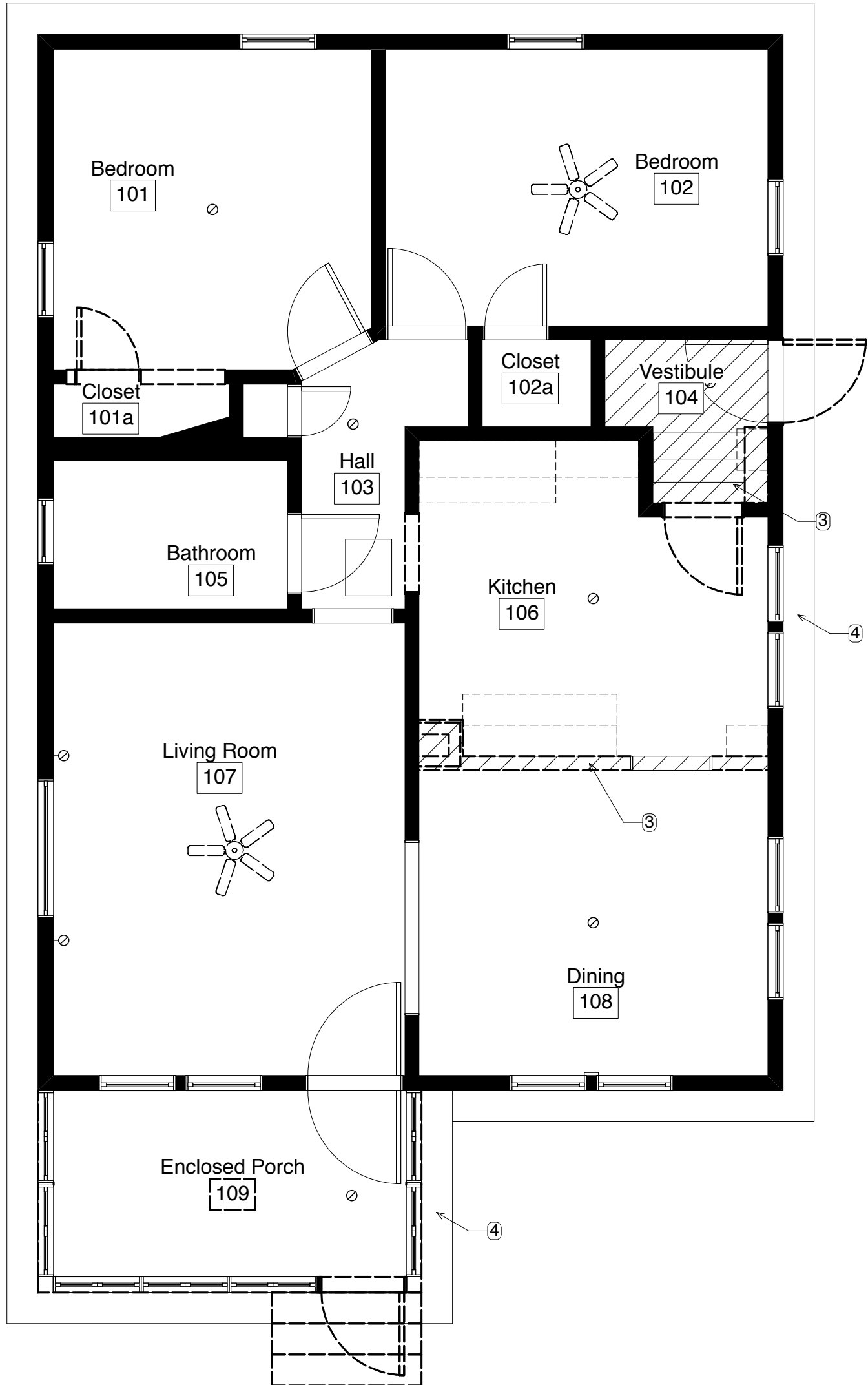
1. Replace all windows. Verify condition for trim repair. See plans for noted exceptions.
2. Demo existing siding. Verify sheathing condition for repair.
3. Demo exist. roof shingles and underlayment. Repair sheathing as needed.
4. Clean and tuckpoint existing foundation as req'd.
5. Replace all doors.

Demo Reflected Ceiling Plan Notes:

1. Demo all existing lighting fixtures.

Demo Floor Plan Keynotes

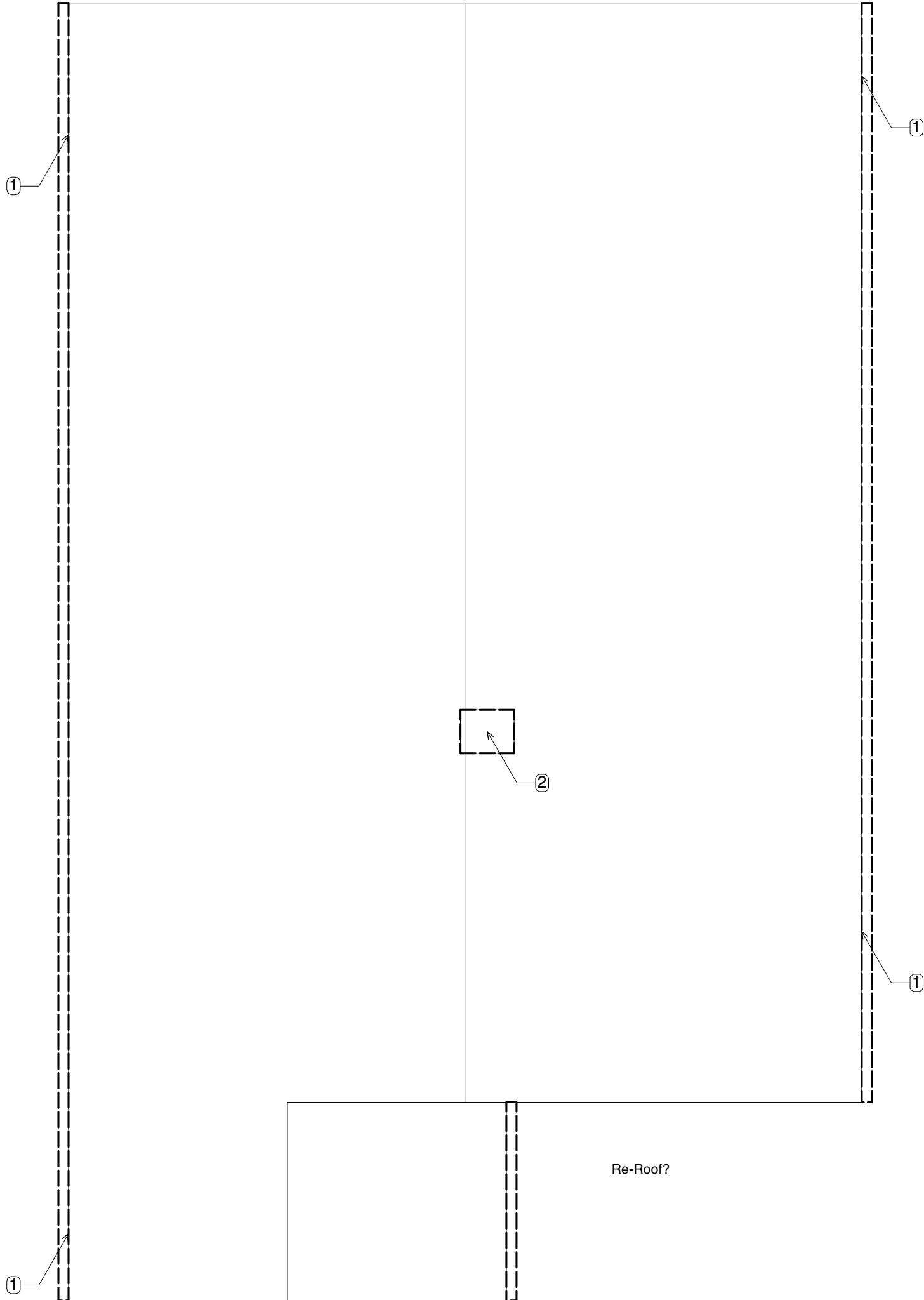
1. Remove exist. gutter & downpouts.
2. Demo exist. chimney, flue and walls as shown. Verify structural integrity prior to demo.
3. Hatch indicates extent of ceiling demo. Remove ceiling tiles where present.
4. Demo metal soffit and metal wrapped trim.



1

First Floor Demo RCP  
1/4" = 1'-0"

AD102




2

Roof Demo Plan  
1/4" = 1'-0"

AD102

City of Saint Paul • HRA  
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NAME: SCOTT WENDE LICENSE NUMBER: 19071			
DATE: October 12, 2012			
Design Firm			
 Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259			
Consultant			
Construction Manager			
-			
-			
Project Title			
City of Saint Paul • HRA Residence Remodel 1031 Fuller Avenue Saint Paul, MN			
Drawing Title			
RCP/Roof Demo Plan			
Project Manager		Project ID	
Scott Wende		2012-04	
Drawn By		Scale	
JDC-CN		1/4" = 1'-0"	
Reviewed By		Drawing No.	
Date		AD102	
20121012			
File Name			
1031 Fuller.vwx			



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- Demolition Notes:**
1. Replace all windows. Verify condition for trim repair. See plans for noted exceptions.
  2. Demo existing siding. Verify sheathing condition for repair.
  3. Demo exist. roof shingles and underlayment. Repair sheathing as needed.
  4. Clean and tuckpoint existing foundation as req'd.
  5. Replace all doors.

Demo Elevation Keynotes



1 South Elevation Photograph  
no scale  
AD201



2 Porch Elevation Photograph  
no scale  
AD201



3 North Elevation Photograph  
no scale  
AD201


City of Saint Paul • HRA  
Residence Remodel  
1031 Fuller Avenue  
Saint Paul, MN

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DATE: October 12, 2012

Design Firm  
 Lunning Wende Associates, Inc.  
275 Fourth Street East, Suite 620  
Saint Paul, MN 55101  
P: 651.221.0915 F: 651.222.6259

Consultant

Construction Manager

Project Title  
City of Saint Paul • HRA  
Residence Remodel  
1031 Fuller Avenue  
Saint Paul, MN

Drawing Title  
Demo elevations

Project Manager  
Scott Wendt

Project ID  
2012-04

Drawn By  
JDC-CN

Scale  
1/8" = 1'-0"

Reviewed By

Drawing No.  
AD201

Date  
20121012

File Name  
1031 Fuller.vwx



GENERAL NOTES - NEW CONSTRUCTION :

1. PROVIDE RADON VENTILATION IN BASEMENT PER RADON TEST REPORT RECOMMENDATIONS.
2. ALL INTERIOR WALLS 2X4 WD. FRAMING U.N.O.
3. PROVIDE PAPER FREE GWB OR CEMENT FIBERBOARD @ ALL INTERIOR WALL LOCATIONS W/ PLUMBING FIXTURE.
4. CLEAN & REINSTALL EXIST DOOR HDWR AS NOTED IF TO BE REUSED.
5. FULLY ENCAPSULATED LEAD-PAINT @ LOCATIONS PER CODE (SEE HRA REPORT)
6. ALL OCCUPIABLE SPACES TO HAVE A MIN. CLG. HGT. OF 7'-0" PER CODE. (APPLICATION FOR VARIANCE PER CLIENT REQUEST)
7. REFINISH HARDWOOD FLOORS WHEN PRESENT (SEE SCHED)
8. VERIFY ALL EXISTING MECH. & ELEC. FOR CODE COMPLIANCE. INSTALL NEW OUTLETS & FIXTURES AS REQ'D. (SEE SPEC)
9. PROVIDE FIRE BLOCKING/FIRE SAFING AS REQ'D PER CODE.
10. VERIFY EXST. SMOKE DETECTION SYS. REUSE IF POSSIBLE, REPLACE PER CODE AS REQ'D.

New Construction Notes:

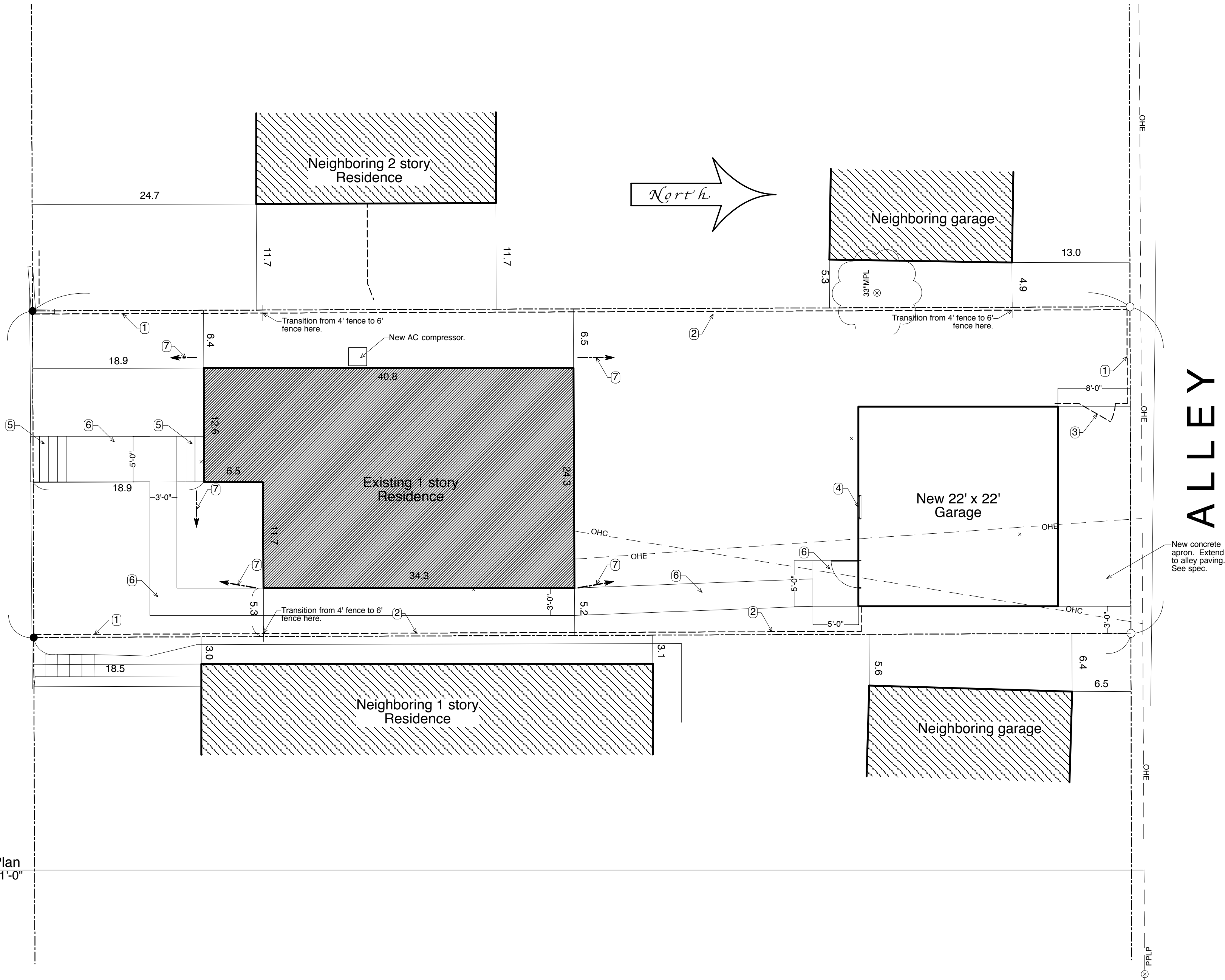
1. All Roofs: new roofing and vents to code. See spec.
2. New siding and house trim. See spec for type.
3. All windows are replacement windows. Unless noted otherwise.
4. New doors throughout

Site Plan Notes:

1. Coordinate site plan with landscape drawings.

Site Plan Keynotes

1. New 4' tall wood fence. See spec.
2. New 6' tall wood fence. See spec.
3. New wood gate matching fence.
4. Center window on gabled wall.
5. New conc. steps. Coordinate sitework with landscape plans and regrading work.
6. New conc. paving.
7. New gutter and downspout. Shown dashed. See spec.



City of Saint Paul • HRA  
Residence Remodel  
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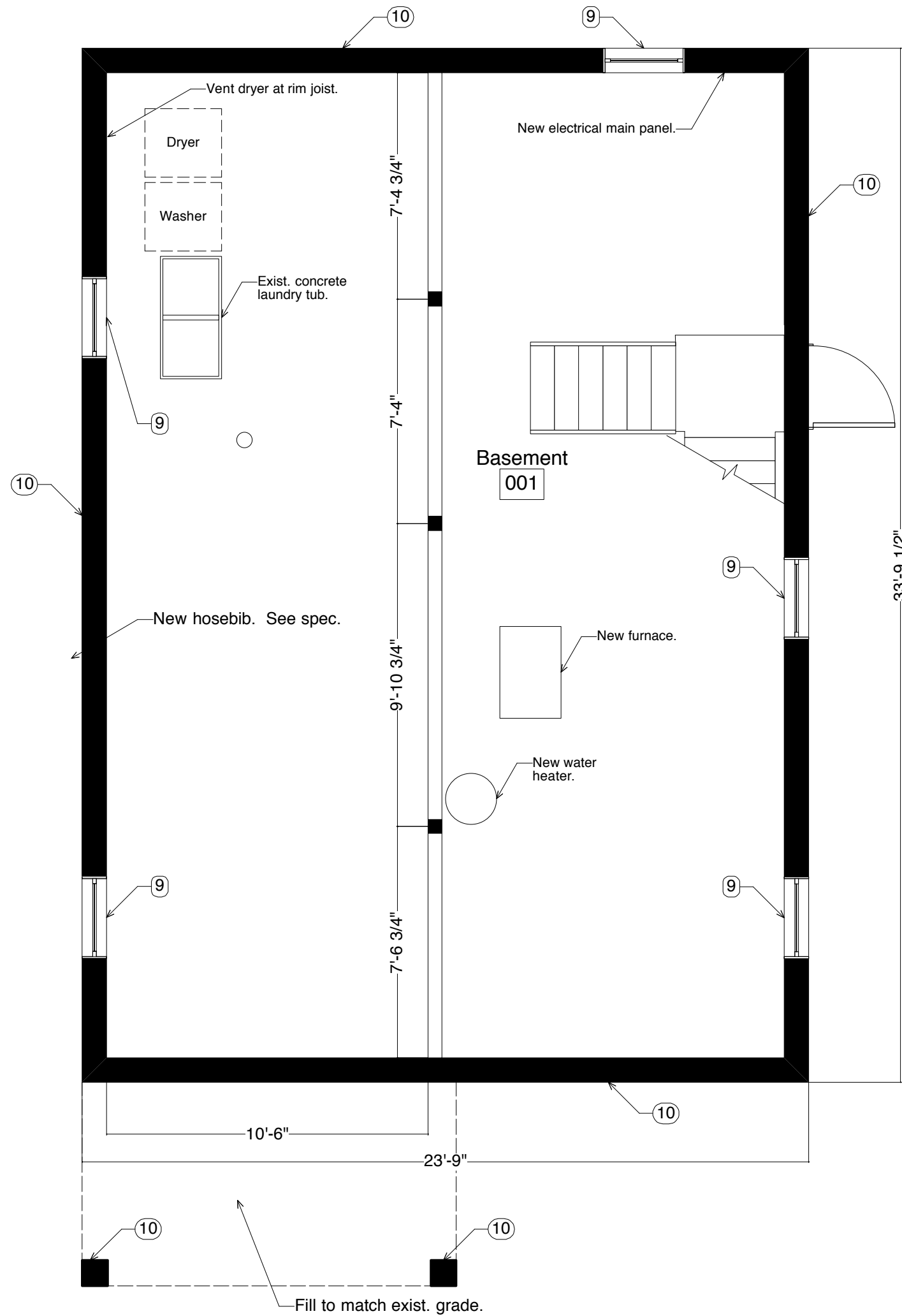
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<div>Design Firm</div> <div><div></div><div>Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259</div></div>			
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<div>Project Title</div> <div>City of Saint Paul • HRA Residence Remodel 1031 Fuller Avenue Saint Paul, MN</div>			
<div>Drawing Title</div> <div>Site Plan</div>			
<div>Project Manager</div> <div>Scott Wendt</div>		<div>Project ID</div> <div>2012-04</div>	
<div>Drawn By</div> <div>JDC-CN</div>		<div>Scale</div> <div>1/8" = 1'-0"</div>	
<div>Reviewed By</div>		<div>Drawing No.</div>	
<div>Date</div> <div>20121012</div>		<div>A001</div>	
<div>File Name</div> <div>1031 Fuller.vwx</div>			

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  2. ALL INTERIOR WALLS 2X4 WD. FRAMING U.N.O.
  3. PROVIDE PAPER FREE GWB OR CEMENT FIBERBOARD @ ALL INTERIOR WALL LOCATIONS W/ PLUMBING FIXTURE.
  4. CLEAN & REINSTALL EXIST DOOR HDWR AS NOTED IF TO BE REUSED.
  5. FULLY ENCAPSULATED LEAD-PAINT @ LOCATIONS PER CODE (SEE HRA REPORT)
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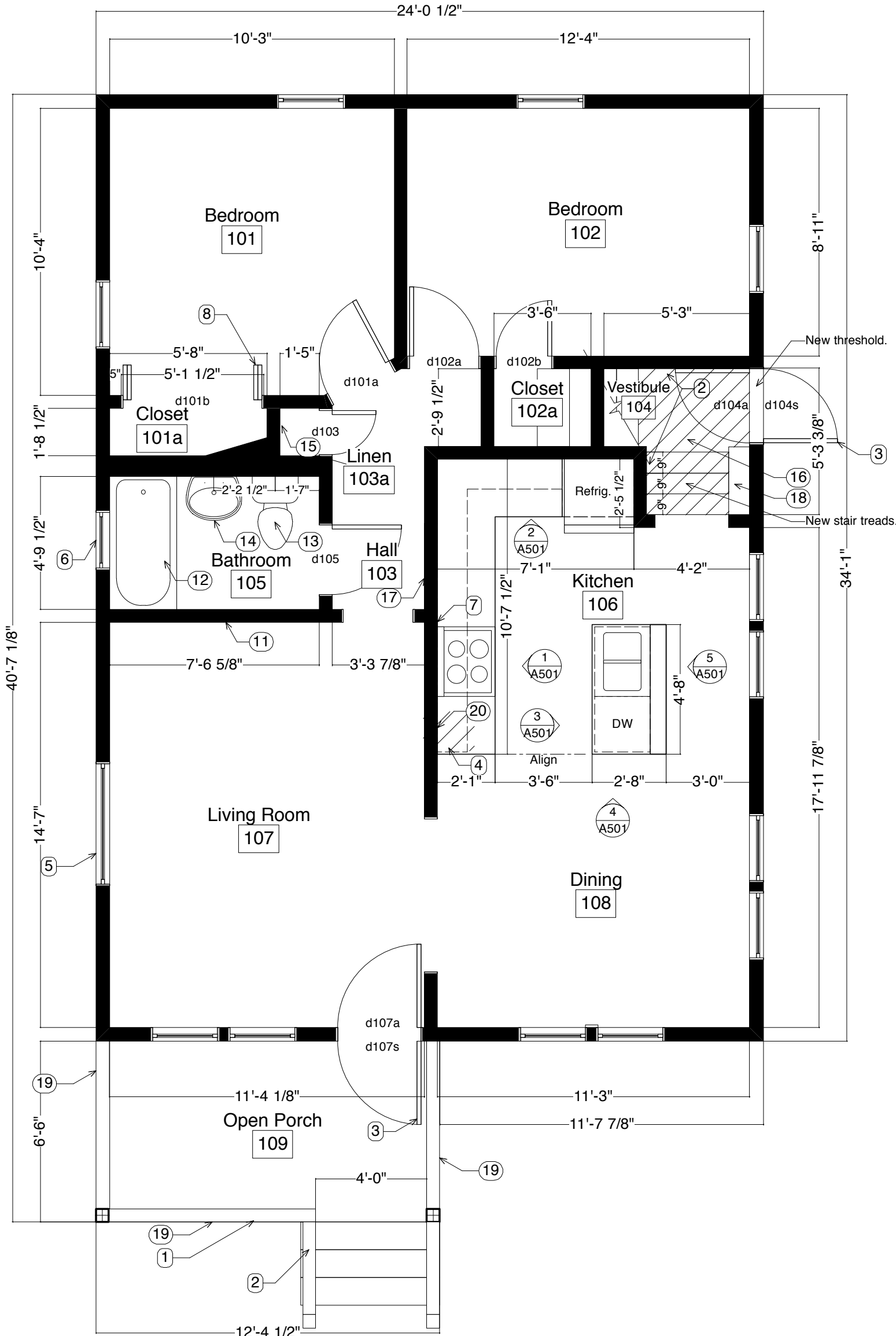
- New Construction Notes:**
1. All Roofs: new roofing and vents to code. See spec.
  2. New siding and house trim. See spec for type.
  3. All windows are replacement windows. Unless noted otherwise.
  4. New doors throughout

**Floor Plan Keynotes**

1. New open porch: new columns, flooring, and railing.
2. New handrail to code.
3. New storm/screen door. See spec.
4. Repair floor & patch in new flooring at former chimney location.
5. Repair exist. wood window and storm.
6. Frame opening to allow a 24" x 24" opening for glass block with existing head height.
7. Repair faux finish demo at this wall. Replace with gypsum wall board if necessary.
8. New door in new frame. See spec.
9. Glass block this opening. Install one vented block unit.
10. Tuckpoint & repair masonry as req'd.
11. Add sound insulation where possible.
12. New tub, tile surround and shower rod. See spec.
13. New toilet at exist. plumbing location.
14. New pedestal sink at exist. plumbing location.
15. New wire shelving. See spec.
16. New sheet flooring at landing and stairs. Hatch shows extent. See spec.
17. Frame existing opening. GWB each side finish and base trim to match adjacent wall.
18. Repair foundation enclosure. Repair beadboard, new trim, new hardwood top. Paint.
19. New exterior deck railing per code. See spec.
20. Repair wall at chimney demo to match adjacent.




1  
A101  
Basement Plan  
1/4" = 1'-0"



2  
A101  
First Floor Plan  
1/4" = 1'-0"

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<div>Drawing Title</div> <div>Basement/First Floor Plans</div>			
<div>Project Manager</div> <div>Scott Wende</div>		<div>Project ID</div> <div>2012-04</div>	
<div>Drawn By</div> <div>JDC-CN</div>		<div>Scale</div> <div>1/4" = 1'-0"</div>	
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<div>Date</div> <div>20121012</div>		<div>A101</div>	
<div>File Name</div> <div>1031 Fuller.vwx</div>			

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6. ALL OCCUPIABLE SPACES TO HAVE A MIN. CLG. HGT. OF 7'-0" PER CODE. (APPLICATION FOR VARIANCE PER CLIENT REQUEST)  
7. REFINISH HARDWOOD FLOORS WHEN PRESENT (SEE SCHED)  
8. VERIFY ALL EXISTING MECH. & ELEC. FOR CODE COMPLIANCE. INSTALL NEW OUTLETS & FIXTURES AS REQ'D. (SEE SPEC)  
9. PROVIDE FIRE BLOCKING/FIRE SAFING AS REQ'D PER CODE.  
10. VERIFY EXST. SMOKE DETECTION SYS. REUSE IF POSSIBLE, REPLACE PER CODE AS REQ'D.

**New Construction Notes:**  
1. All Roofs: new roofing and vents to code. See spec.  
2. New siding and house trim. See spec for type.  
3. All windows are replacement windows. Unless noted otherwise.  
4. New doors throughout

**Reflected Ceiling Plan Notes:**  
1. Center light fixtures in room unless noted otherwise.  
2. Electrical switches shown are required placement. Other new switches may be needed.

**Floor Plan Keynotes**

1. New ext. flush mount light fixture. See Spec.

2. New ext. wall sconce light fixture. See spec.

3. Hatch indicates extent of new ceiling. Typ.

4. New gutter and downspout. Shown dashed. See spec.

5. New int. flush mount light fixture. See spec.

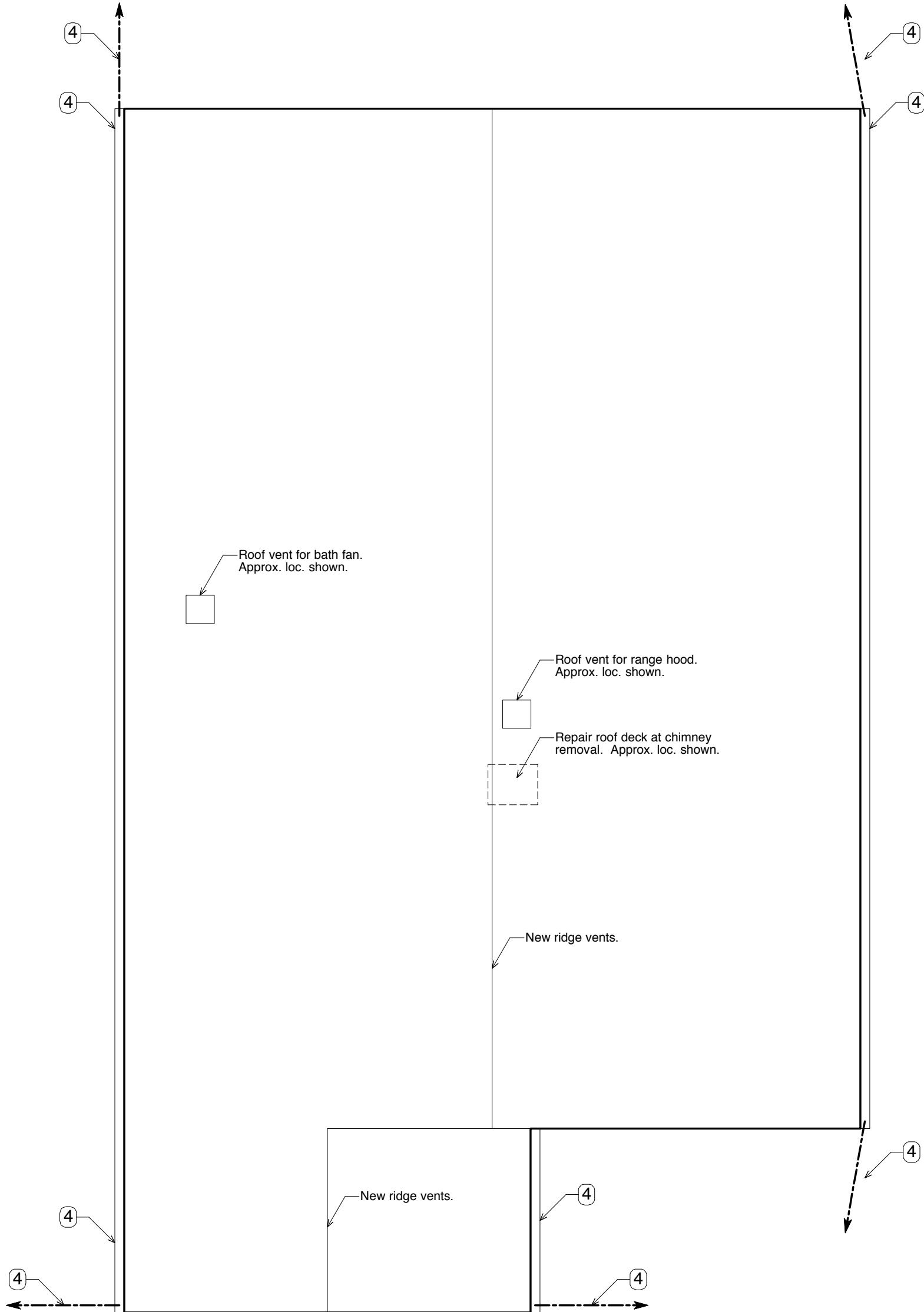
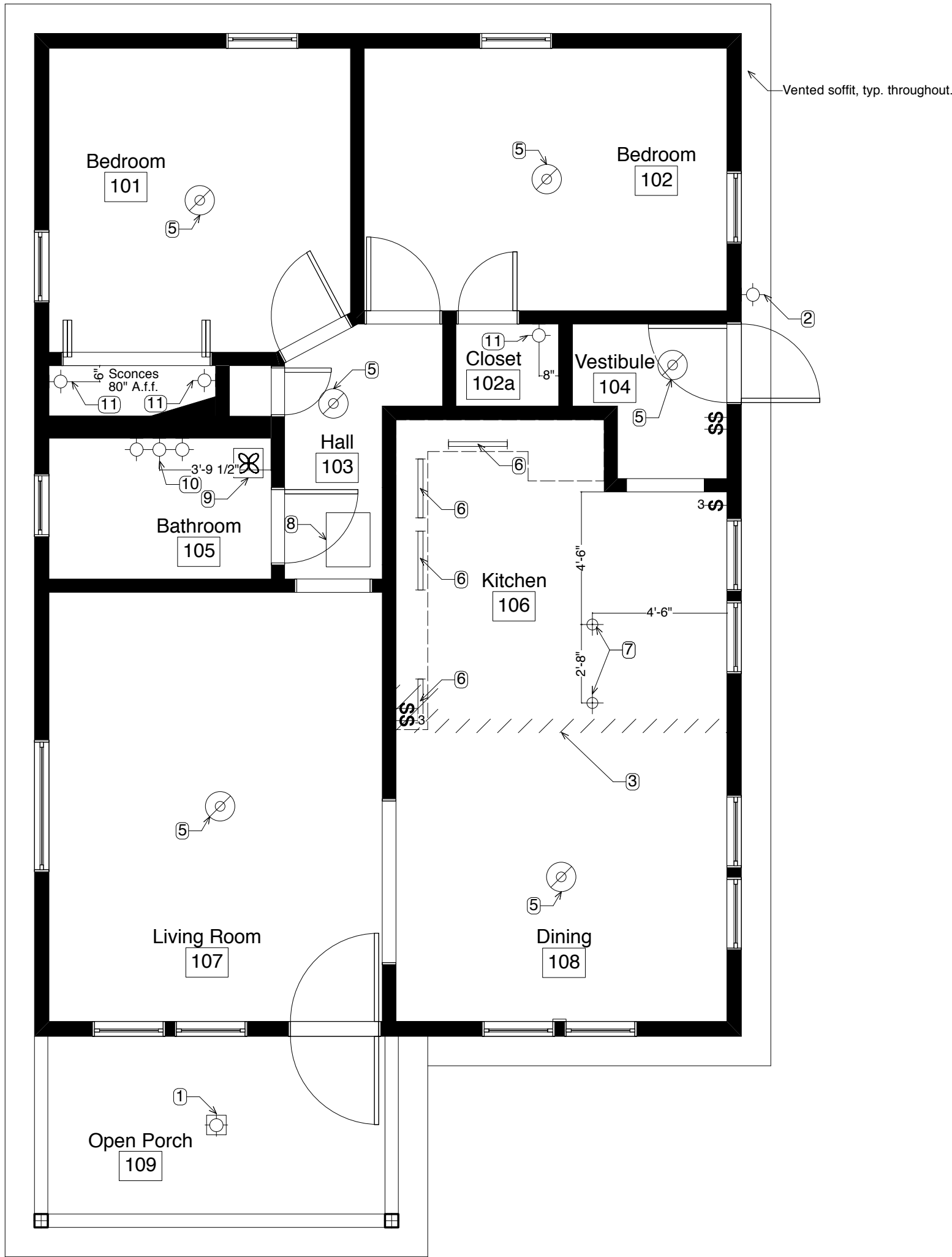
6. New undercabinet light fixtures. See spec.
7. New pendant light fixture. See spec.

8. Existing attic access.

9. New recessed bath fan. See spec.

10. New vanity light fixture. See spec.

11. New wall sconce.



City of Saint Paul • HRA  
Residence Remodel  
1031 Fuller Avenue  
Saint Paul, MN

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Scott Wendt*  
NAME: SCOTT WENDT  
LICENSE NUMBER: 19071  
DATE: October 12, 2012

Design Firm	Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259
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Consultant	
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Construction Manager	-
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Project Title	City of Saint Paul • HRA Residence Remodel 1031 Fuller Avenue Saint Paul, MN
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Drawing Title	RCP/Roof plans
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Project Manager Scott Wendt	Project ID 2012-04
Drawn By JDC-CN	Scale 1/4" = 1'-0"
Reviewed By	Drawing No. <b>A102</b>
Date 20121012	
File Name 1031 Fuller.vwx	

1 First Floor RCP  
1/4" = 1'-0"

2 Roof Plan  
1/4" = 1'-0"

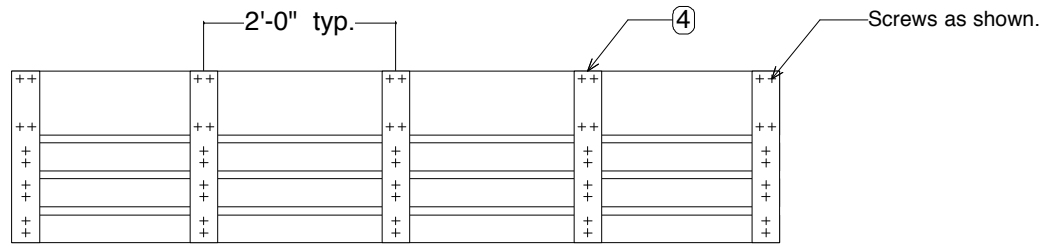


**GENERAL NOTES - NEW CONSTRUCTION :**  
1. PROVIDE RADON VENTILATION IN BASEMENT PER RADON TEST REPORT RECOMMENDATIONS.  
2. ALL INTERIOR WALLS 2X4 WD. FRAMING U.N.O.  
3. PROVIDE PAPER FREE GWB OR CEMENT FIBERBOARD @ ALL INTERIOR WALL LOCATIONS W/ PLUMBING FIXTURE.  
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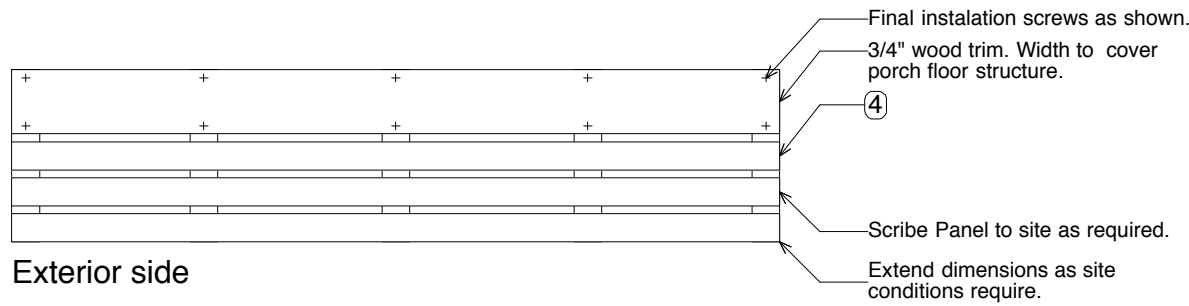
**New Construction Notes:**  
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**Wall Section Keynotes**  
1. New panels at front porch. See 1/A301.  
2. New conc. steps. Coordinate sitework with landscape plans and regrading work.

3. New exterior railing per code. See spec.  
4. 3/4" x 4" wood trim.



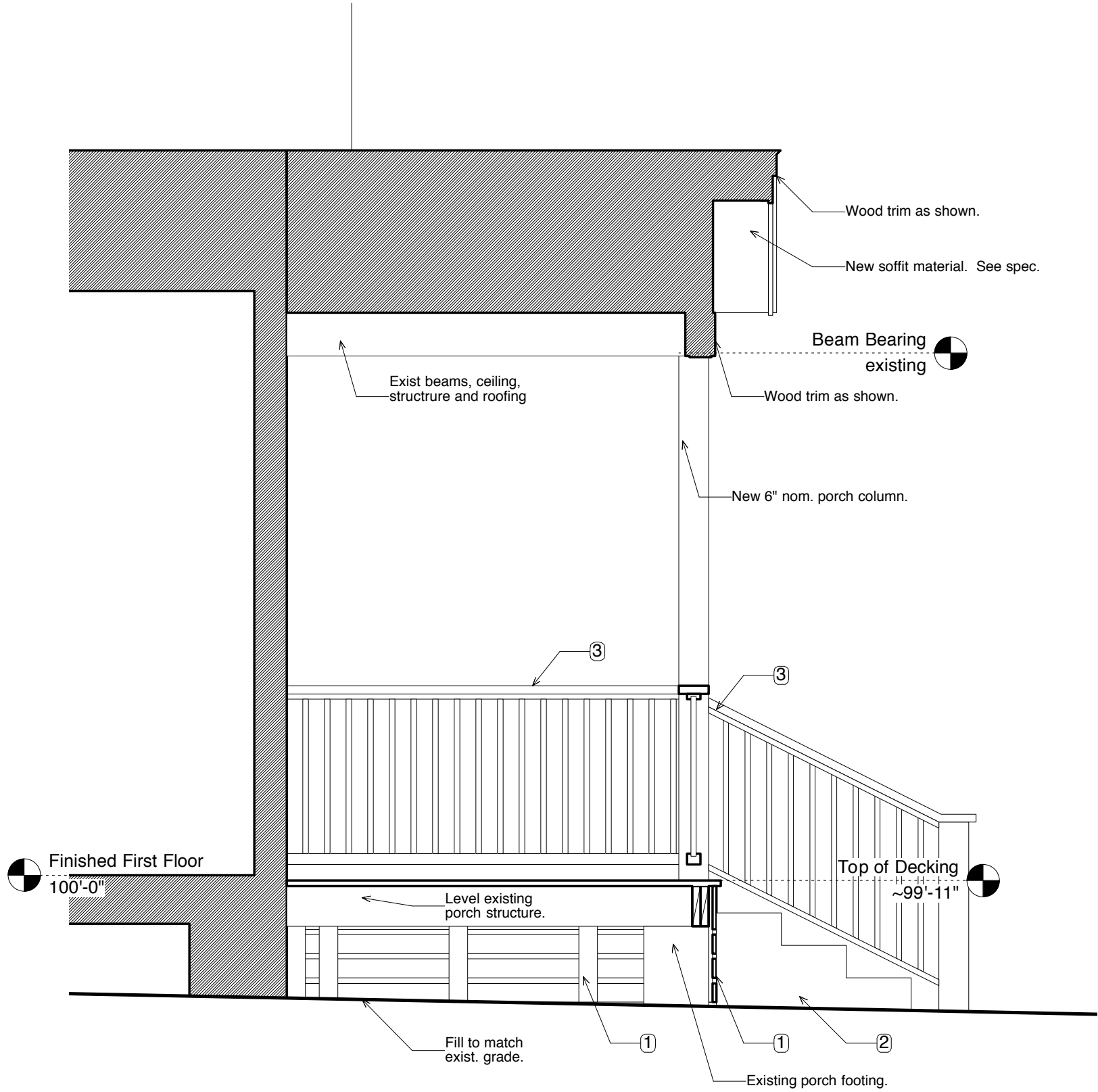
Backside



Exterior side

Note: Fasten together with non-corrosive screws. Scribe porch panel to fit, then prime all sides before finishing to match trim.

1 Porch Panel Detail  
1/8" = 1'-0"



2 Front Porch Section  
1/8" = 1'-0"

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NAME: SCOTT WENDE  
LICENSE NUMBER: 19071  
DATE: October 12, 2012

Design Firm  
Lunning Wende Associates, Inc.  
275 Fourth Street East, Suite 620  
Saint Paul, MN 55101  
P: 651.221.0915 F: 651.222.6259

Consultant

Construction Manager

Project Title  
City of Saint Paul • HRA  
Residence Remodel  
1031 Fuller Avenue  
Saint Paul, MN

Drawing Title  
Porch details

Project Manager Scott Wende	Project ID 2012-04
Drawn By JDC-CN	Scale 1/2" = 1'-0"
Reviewed By	Drawing No. <b>A301</b>
Date 20121012	
File Name 1031 Fuller.vwx	

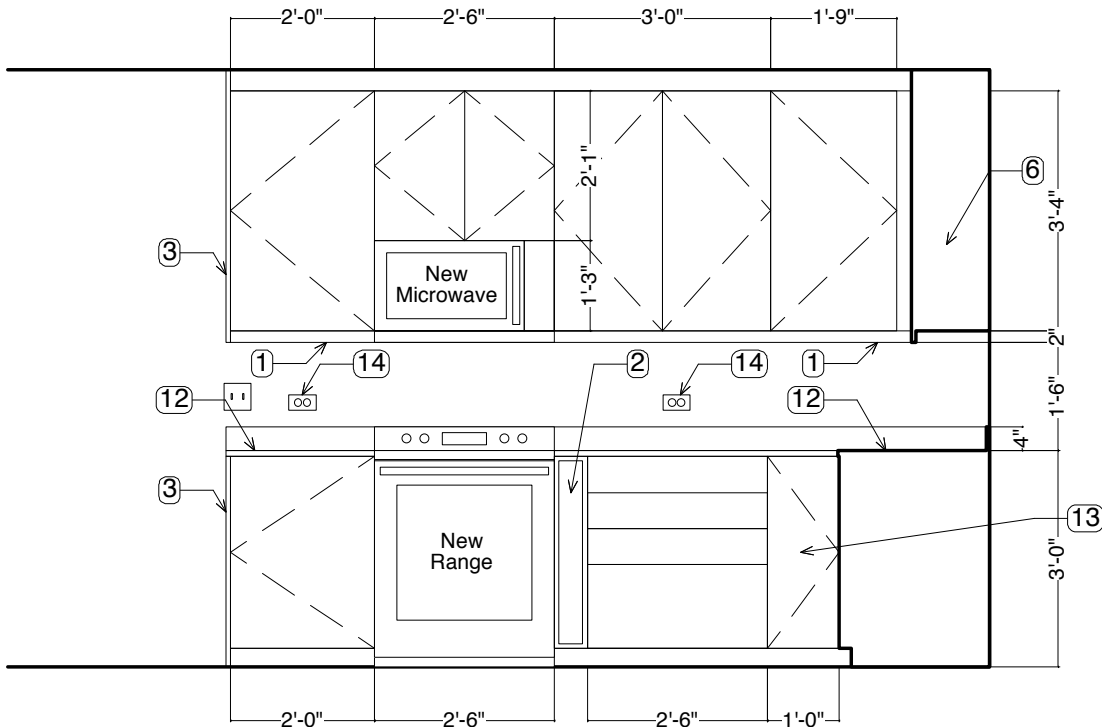
**GENERAL NOTES - NEW CONSTRUCTION :**  
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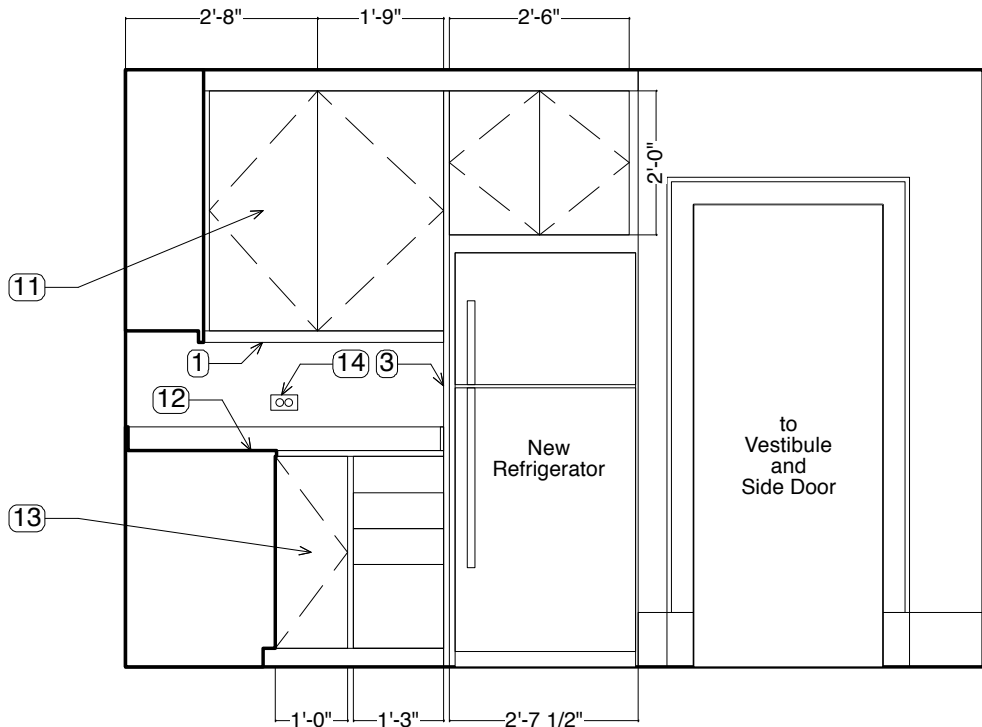
**Elevation Keynotes**

1. New undercabinet lighting. See spec.
2. New open cabinet.
3. Cabinetry side panel.
4. New recessed medicine cabinet. See spec.
5. New sink & faucet. See spec.
6. New cabinetry. See spec.
7. New tub, tile surround and shower rod. See spec.

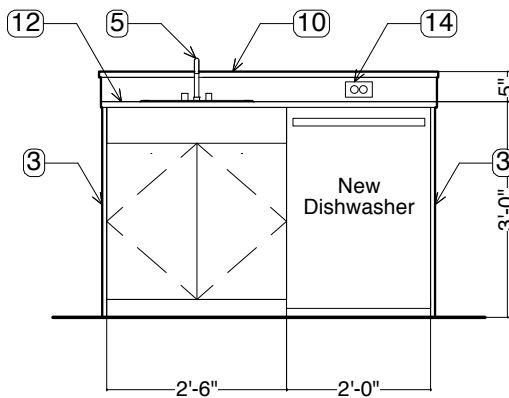
8. New toilet at exist. plumbing location.
9. New pedestal sink. See spec.
10. New plastic laminate wall cap. See spec.
11. 32" Cabinet extends into the corner with 18" door at right edge.
12. New plastic laminate backsplash & counter. See spec.
13. New 'lazy susan' corner cabinet. See spec.
14. GFIC elec. outlet.



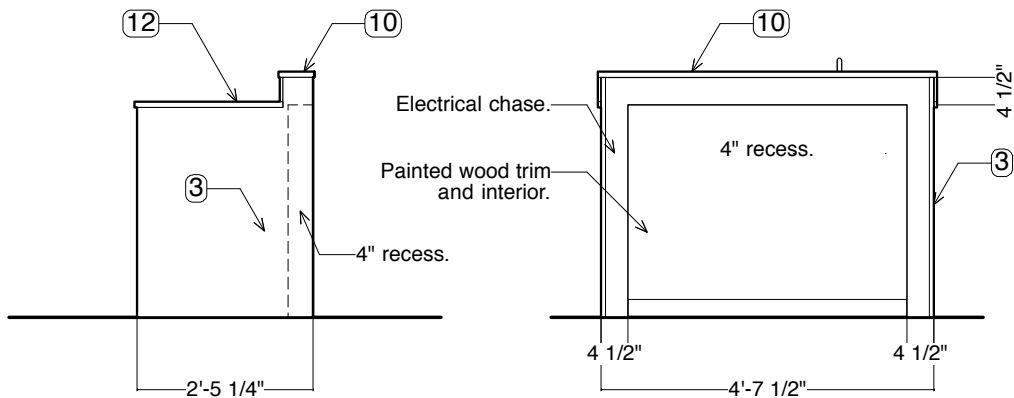
1 West Kitchen Cabinetry  
3/8" = 1'-0"



2 North Kitchen Cabinetry  
3/8" = 1'-0"

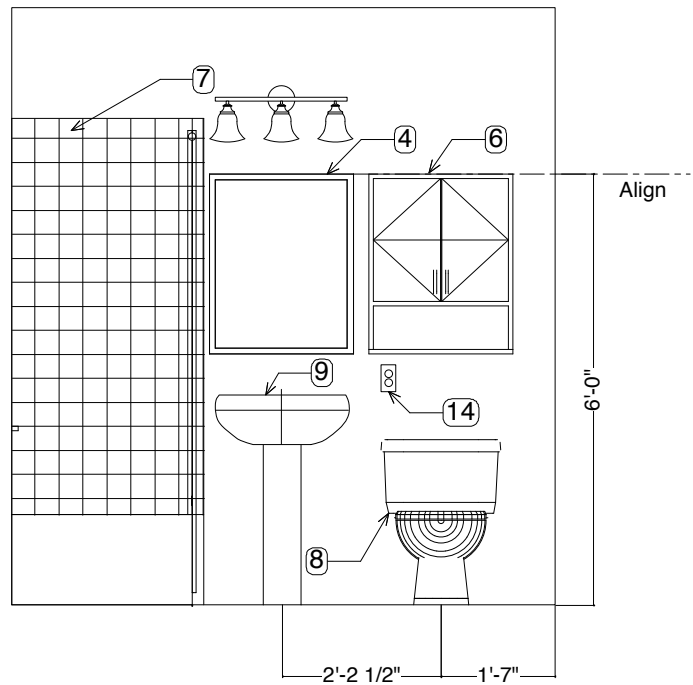


3 Kitchen Island  
3/8" = 1'-0"



4 Kitchen Island  
3/8" = 1'-0"

5 Kitchen Island  
3/8" = 1'-0"



6 Bathroom  
3/8" = 1'-0"

City of Saint Paul • HRA  
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SIGNATURE: *Scott Wende*  
NAME: SCOTT WENDE  
LICENSE NUMBER: 18071  
DATE: October 12, 2012

Design Firm  
Lunning Wende Associates, Inc.  
275 Fourth Street East, Suite 620  
Saint Paul, MN 55101  
P: 651.221.0915 F: 651.222.6259

Consultant

Construction Manager

Project Title  
City of Saint Paul • HRA  
Residence Remodel  
1031 Fuller Avenue  
Saint Paul, MN

Drawing Title  
Kitchen/Bathroom Elevations

Project Manager Scott Wende	Project ID 2012-04
Drawn By JDC-CN	Scale 3/8" = 1'-0"
Reviewed By	Drawing No. A501
Date 20121012	
File Name 1031 Fuller.vwx	



**GENERAL NOTES - NEW CONSTRUCTION :**  
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Room Finish Schedule															
No.	RoomName	Floor finish	Floor Material	Base finish	North		East		South		West		Ceiling		Comments
					Mat'l	Finish	Mat'l	Finish	Mat'l	Finish	Mat'l	Finish	Mat'l	Finish	
1	Basement	exist	pt	-	exist	pt	exist	pt	exist	pt	exist	pt	-	-	
101	Bedroom	wd	wd	pt	exist	pt	exist	pt	exist	pt	exist	pt	exist	pt	
101a	Closet	wd	wd	pt	exist	pt	exist	pt	exist	pt	exist	pt	exist	pt	
102	Bedroom	wd	wd	pt	exist	pt	exist	pt	exist	pt	exist	pt	exist	pt	
102a	Closet	wd	wd	pt	exist	pt	exist	pt	exist	pt	exist	pt	exist	pt	paint wooden seat
103	Hall	wd	wd	pt	exist	pt	exist	pt	exist	pt	exist	pt	exist	pt	
103a	Linen Closet	wd	wd	pt	exist	pt	-	-	exist	pt	exist	pt	exist	pt	
104	Vestibule	sheet	sheet	pt	gwb	pt	gwb	pt	exist	pt	exist	pt	exist	pt	repair wood at low foundation wall-pt.
105	Bathroom	ct	ct	ct	cfb	pt	exist	pt	cfb	pt	cfb	pt	exist	pt	cement fiber board at wet areas
106	Kitchen	wd	wd	pt	exist	pt	exist	pt	-	-	exist	pt	exist	pt	gwb repairs to demo
107	Living Room	wd	wd	pt	exist	pt	exist	pt	exist	pt	exist	pt	exist	pt	
108	Dining Room	wd	wd	pt	-	-	exist	pt	exist	pt	exist	pt	exist	pt	
109	Open Porch	stain	wd	-	-	-	-	-	-	-	-	-	wd	stain	

See specification & material list for all interior finish selections

Door Schedule										
Door Number	Door			Frame			Hardware		Comments	
	width	height	Thick	Mat'l	Type	Mat'l	Finish			
d101a	30"	80"	-	wood	wood	wood	pt	priv	New door in existing frame	
d101b	60"	80"	-	wood	wood	wood	pt	-	Bi-fold closet doors. Reuse trim from demo when possible	
d102a	30"	80"	-	wood	wood	wood	pt	priv	New door in existing frame	
d102b	24"	80"	-	wood	wood	wood	pt	pass	New door in existing frame	
d103	19"	80"	-	wood	wood	wood	pt	pass	New door in existing frame	
d104a	32"	80"	-	metal	wood	wood	pt	Bolt	New door in existing frame, New interior frame.	
d104s	32"	80"	-	metal				-	New storm door. Fit to frame	
d105	30"	80"	-	wood	wood	wood	pt	priv	New door in existing frame	
d107a	36"	80"	-	metal	wood	wood	pt	bolt	New door in existing frame	
d107s	36"	80"	-	metal				-	New storm door. Fit to frame	
garage1	36"	80"		metal	wood	wood		Bolt		
garage2	16'	7'		metal	wood	wood	pt	G.D.	Garage door with elec. opener.	

Verify all existing openings.

City of Saint Paul • HRA  
Residence Remodel  
1031 Fuller Avenue  
Saint Paul, MN

No.	Date	Appr	Revision Notes
<div>△</div>			
A	7/19/12	Issue for Bid	
No.	Date	Issue Notes	
<div>I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.</div> <div>SIGNATURE: <div>Scott Wende</div></div> <div>NAME: SCOTT WENDE</div> <div>LICENSE NUMBER: 19071</div> <div>DATE: October 12, 2012</div>			
<div>Design Firm</div> <div><div></div><div>Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259</div></div>			
<div>Consultant</div>			
<div>Construction Manager</div> <div>-</div> <div>-</div>			
<div>Project Title</div> <div>City of Saint Paul • HRA Residence Remodel 1031 Fuller Avenue Saint Paul, MN</div>			
<div>Drawing Title</div> <div>Schedules</div>			
<div>Project Manager</div> <div>Scott Wende</div>		<div>Project ID</div> <div>2012-04</div>	
<div>Drawn By</div> <div>JDC-CN</div>		<div>Scale</div> <div>No scale</div>	
<div>Reviewed By</div>		<div>Drawing No.</div>	
<div>Date</div> <div>20121012</div>		<div>A601</div>	
<div>File Name</div> <div>1031 Fuller.vwx</div>			